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Mary L. Clark
HAMILTON County Recorder IN
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ORDINANCE NO. 27-08-13, AS AMENDED

**AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT ORDINANCE
OF CITY OF NOBLESVILLE, A PART OF THE COMPREHENSIVE MASTER
PLAN FOR THE CITY OF NOBLESVILLE, HAMILTON COUNTY, INDIANA
AND ADOPTION OF A PRELIMINARY DEVELOPMENT PLAN AND
STANDARDS FOR THE TERRY LEE CROSSING PLANNED DEVELOPMENT**

Document Cross Reference # - 11-11-05-00-00-013.000
Document Cross Reference # - 11-11-05-00-00-001.000
Document Cross Reference # - 11-07-32-00-00-024.000

An ordinance (the "Terry Lee Crossing PD Ordinance") to amend the Unified
Development Ordinance for the City of Noblesville, Hamilton County, Indiana (the
"UDO") enacted by the City of Noblesville pursuant to its authority under the laws of the
State of Indiana, IC 36-7-4 *et seq.*, as amended.

WHEREAS, the Plan Commission at their meeting on August 19, 2013 sent its
favorable recommendation to the Common Council of the City of Noblesville (the
"Common Council") by a vote of ten (10) in favor and zero (0) opposed;

NOW, THEREFORE, be it ordained by the Common Council of the City of
Noblesville, Hamilton County, Indiana, meeting in regular session, that the Unified
Development Ordinance for said City and the Official Zone Map be hereby amended as
follows:

Section 1. Applicability of the Terry Lee Crossing PD Ordinance.

- 1.1 The subject property is located south and east of the intersection of State Road 32 and State Road 37 and is legally described in the attached Exhibit A (the "Real Estate"). The Real Estate is located within the zoning jurisdiction of the City of Noblesville, Hamilton County, Indiana.
- 1.2 The zoning classification of the Real Estate is Planned Business (PB) District classification as designated in the UDO.
- 1.3 The preliminary development plan, attached hereto as Exhibit B, is hereby adopted as part of the Terry Lee Crossing PD Ordinance.

Section 2. Permitted Uses.

All uses allowed in the PB District are permitted as a part of the Terry Lee Crossing PD Ordinance, *excluding* the following uses: Temporary Shelters; Church, Temple, or Place of Worship; Penal or Correctional Facility; Adult Cabaret; Adult Media Store; Adult Motion Picture Theater; and Sex Shop; and Supply Yard.

Section 3. Development Standards.

- 3.1 The applicable bulk requirements of Article 8: Zoning Districts and Part C: Commercial District of the UDO shall apply to the development of the Real Estate except as modified by the development guidelines attached hereto as Exhibit C.
- 3.2 The applicable landscaping requirements of Article 12: Landscaping and Screening of the UDO shall apply to the development of the Real Estate except as modified by the landscaping development standards attached hereto as Exhibit D.

- 3.3 The applicable lighting requirements of Article 13: Environmental Performance Standards of the UDO shall apply to the development of the Real Estate. The design of the lighting fixtures and poles are found in the attached Exhibit E and shall serve as the development standard under the Terry Lee Crossing PD Ordinance. The maximum pole and base height shall be 25' feet. Building flood lighting is acceptable and encouraged as part of the overall project design of the Real Estate.
- 3.4 The applicable signing requirements of Article 11: Signs of the UDO shall apply to the development of the Real Estate except as modified by the sign development guidelines attached hereto as Exhibit F.
- 3.5 The architectural elevations are attached hereto as Exhibit G and are adopted as part of the Terry Lee Crossing PD Ordinance.
- 3.6 The applicable parking requirements of Article 10: Off-Street Parking and Loading of the UDO shall apply to the development of the Real Estate.

Section 4. **Vacation of a Portion of Cumberland Road.** As part of the development of the Real Estate, a portion of Cumberland Road shall be vacated as shown on Exhibit H attached hereto the Terry Lee Crossing PD Ordinance and shall be vacated in its entirety to Terry Lee Crossing, LLC, an Indiana limited liability company, or its successor in interest.

Section 5. The Terry Lee Crossing PD Ordinance and its exhibits approved by the Noblesville Plan Commission (collectively, the "PD Standards") identify and permit variations from the development standards, specifications, guidelines and/or requirements (collectively, the "Underlying Standards") contained in the UDO. The PD

Standards supersede the Standards in the UDO to the extent the PD Standards vary, alter or modify the Standards in the UDO. The Standards in the UDO, however, shall apply to the extent the PD Standards do not vary, alter or modify them.

Section 6. In accordance with Article 3, Part E, Section 2 of the UDO, the Director of Planning and Development shall determine whether the Detailed Development Plan, including without limitation, the building elevations, site plans, landscape plans, signage elevations and locations and other requirements as per the Terry Lee Crossing PD Ordinance or the City's UDO are in substantial compliance with the preliminary Development Plan that is approved by the Plan Commission and Council as a part of this Planned Development Ordinance. The Director of Planning and Development has the authority under the UDO to interpret the Terry Lee Crossing PD Ordinance and determine if minor changes are necessary in the development of the Real Estate without the requirement of a public hearing.

Section 7. This Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law.

Section 8. Upon motion duly made and seconded, this Ordinance was fully passed by the members of the Noblesville Common Council on this 10th day of September, 2013.

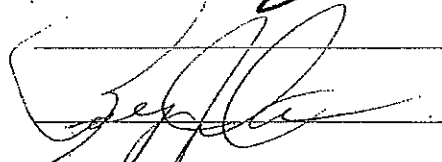
COMMON COUNCIL OF THE CITY OF NOBLESVILLE

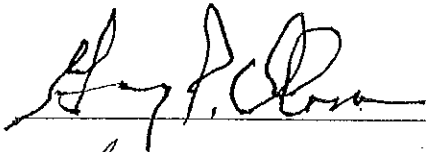
Aye

Nay

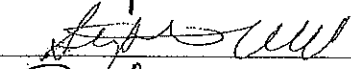
 Brian Ayer _____

Mark Boice _____

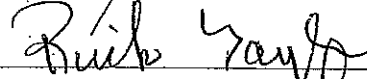
 Roy Johnson _____



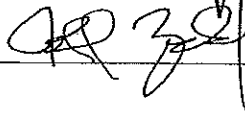
Greg O'Conner



Stephen Wood

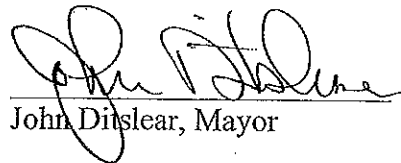


Rick Taylor



Jeff Zeckel

Approved and signed by the Mayor of the City of Noblesville, Hamilton County,
Indiana, this 10th day of September, 2013.


John Dinslear, Mayor

ATTEST:


Janet S. Jaros, Clerk-Treasurer

Exhibit A

Real Estate

A part of the Northwest Quarter of Section 5, Township 18 North, Range 5 East and the West Half of the Southwest Quarter of Section 32, Township 19 North, Range 5 East of the Second Principal Meridian in Noblesville Township of Hamilton County, Indiana.

Commencing at the Southwest corner of the Southwest Quarter of Section 32, Township 19 North, Range 5 East; thence North 89 degrees 36 minutes 03 seconds East (assumed bearing) along the South line of said Quarter Section 193.38 feet to the Northwest corner of the Northwest Quarter of Section 5, Township 18 North, Range 5 East; thence continue North 89 degrees 36 minutes 03 seconds East along said South line 1139.40 feet to the Southeast corner of said West Half and the point of beginning of the following described real estate:

Thence continue along said South line North 89 degrees 36 minutes 03 seconds East a distance of 918.42 feet to the Northwest corner of real estate as contained in Instrument No. 96-30844 as found in the Office of the Recorder of Hamilton County, Indiana; thence South 00 degrees 04 minutes 08 seconds East along the West line of said real estate 1005.25 feet to the point in the centerline of abandoned Central Indiana Railroad; thence South 89 degrees 31 minutes 02 seconds West along said centerline a distance of 2151.28 feet to a point in the centerline of state Road No. 37 per I.S.I.H.C. plans for Project No. 824(1), dated 1954, Sheet 15 therein, said point being on the non-tangent point on a curve concave to the East, having a radius of 3,819.72 feet and a long chord which bears North 08 degrees 57 minutes 26 seconds East 1234.87 feet; thence along said curve to the right an arc distance of 1240.31 feet to the point of tangency thereof; thence North 18 degrees 15 minutes 31 seconds East 473.50 feet to the intersection with State Roads No. 32 & 38 being marked with a brass plug; thence North 88 degrees 50 minutes 58 seconds East along said centerline 612.96 feet to the point of curvature of a curve concave to the South, having a radius of 5694.58 feet and a long chord which bears North 89 degrees 21 minutes 25 seconds East 100.86 feet; thence along said curve to the right an arc distance of 100.86 feet to the Northwest corner of real estate as contained in Instrument No. 98-72645 of said Recorder's Office; thence South 00 degrees 05 minutes 39 seconds West 111.97 feet (record), 114.37 feet (measured) to the point of curvature of a curve concave to the West, having a radius of 301.62 feet and a long chord which bears South 08 degrees 31 minutes 11 seconds West 88.39 feet; thence along said curve to the right an arc distance of 88.71 feet to the Southwest corner of said real estate thereof; thence South 74 degrees 50 minutes 08 seconds East 85.87 feet to the Southeast corner; thence North 74 degrees 13 minutes 52 seconds East 110.72 feet to the Southeast corner of real estate as contained in Instrument No 88-04544 and found in said Recorder's Office, said point also being on the East line of the West Half of said Southwest Quarter of Section 32; thence South 00 degrees 08 minutes 19 seconds East along said East line 472.00 feet to the point of beginning. Containing 63.082 acres, more or less (gross) and 57.829 acres (net), less right-of-way.

Exhibit B

Preliminary Development Plan



PROJECT NO. A		CONCEPTUAL SITE PLAN		CONCEPTUAL RECORD NOT FOR CONSTRUCTION	STATE OF NORTH CAROLINA DEPARTMENT OF TRANSPORTATION DIVISION OF HIGHWAYS RAILROADS AND AIRCRAFT FIELD PROGRAM
		PURPOSE:	PROJECT:		
		PRELIMINARY DEVELOPMENT PLAN	TERRY LEE CROSSING		
		TERRY LEE CROSSING	8693 E. U.S. 167/MAY 30		
		HOOVERVILLE, NC/VA	AVON, NC/VA		

Exhibit C
Development Guidelines

Application.

Except as otherwise specified, the Development Guidelines contained in this Exhibit C shall apply to all buildings designed and constructed on the Real Estate.

C.1 Materials and Exterior Building Finishes.

All buildings shall be designed and constructed in the Real Estate shall follow a consistent architectural theme with building materials and colors. All exterior sides of the buildings shall be finished in approved materials and colors. The selection of materials for Real Estate shall be evaluated based on their permanence, ability to withstand weather conditions and visual appearance.

Any number of materials may be used for the design of the Real Estate. The following is a list of acceptable materials:

- a. Face brick
- b. Aluminum Composite Material (Alucobond or equal)
- c. Splitface; scored split, scored smooth or fluted masonry units
- d. Quik Brik
- e. Glass block
- f. Pre-cast concrete
- g. Cast stone
- h. Colored/decorative concrete
- i. Limestone
- j. Simulated stone
- k. E.I.F.S.
- l. Terracotta
- m. Stained wood
- n. Glass (clear, color, sand blast, etched, etc.)
- o. Storefront (aluminum, wood, steel)
- p. Curtain Wall
- q. Exposed structure
- r. Concrete, brick or asphalt pavers
- s. Porcelain and/or ceramic tile
- t. Textured paint
- u. Clay or colored concrete roof tiles
- v. Dimensional asphalt shingle roof
- w. Standing seam metal roof
- x. Slate Roof
- y. Synthetic slate roof

C.2 Primary Facades.

All primary facades of a building built on the Real Estate shall be designed with consistent style, detail and trim features. No building façade shall extend for a distance greater than two (2) times its average height without a vertical offset, material change or color and texture change. Articulation may also be achieved by a variety of roof planes and/or slopes. Primary facades shall incorporate building elements such as lighting fixtures and changes in wall surfaces such as awnings, canopies, alcoves, accents, windows, a variety of entry configurations, cornices, pilasters, columns or other building elements that contribute to the human scale of the building.

C.3 Secondary Facades.

Side and rear facades of a building built in the Real Estate shall be finished in similar colors as the primary facades. Secondary facades immediately adjacent to a primary façade shall wrap around the building by incorporating building materials and detailing of the primary façade, for a minimum of 30 percent of the overall wall length, measured from the primary façade. Secondary facades shall incorporate building elements such as pilasters, wainscots, accent banding or other building elements that contribute to the appropriate scale of the building.

C.4 Service Courts and/or Screen Walls.

Service Courts and Screen Walls will be comprised of painted or integral colored masonry. Colors shall be consistent with the base colors of the primary and/or secondary facades. Where portions of the service court wall(s) are exposed, additional enhancements will be incorporated that are consistent with the requirements for secondary facades.

All trash dumpsters or containers will be screened from view and incorporate gates constructed of steel and composite materials (no wood) painted to be consistent with the colors of the primary and/or secondary facades and fitted with latches capable of maintaining the gates in a closed position. Dumpster screening shall meet the requirements of Section 8, Part B.1 of Article 12: Landscaping and Screening of the UDO.

All rooftop HVAC equipment will be screened from view and by elements of the building such as parapets, not by roof mounted screens.

C.5 Setback Lines.

The Building and Landscaping Setback Lines for each Lot of the Real Estate shall be as shown on the Preliminary Development Plan as follows:

- A. Lot 1 of the Preliminary Development Plan (“Dealership Lot”):
 - 1. Front Yard Building Setback Line (facing S.R. 37 and facing S.R. 32/38) shall be Sixty (60) feet.
 - 2. Front Yard Building Landscaping Setback Line (facing S.R. 37 and facing 32/38) shall be Forty (40) feet.
 - 3. Side Yard Building Setback Line shall be Ten (10) feet.
- B. Lot 2 of the Preliminary Development Plan:
 - 1. Front Yard Building Setback Line (facing S.R. 37) shall be Sixty (60) feet.
 - 2. Front Yard Building Landscaping Setback Line (facing S.R. 37) shall be Forty (40) feet.
 - 3. Front Yard Building Setback Line (facing Cherry Street) shall be Twenty (20) feet.
 - 4. Front Yard Building Landscaping Setback Line (facing Cherry Street) shall be Ten (10) feet.
 - 5. Side Yard Building Setback Line shall be Ten (10) feet.
- C. Lot 3 of the Preliminary Development Plan
 - 1. Front Yard Building Setback Line (facing S.R. 37) shall be Sixty (60) feet.
 - 2. Front Yard Building Landscaping Setback Line (facing S.R. 37) shall be Forty (40) feet.
 - 3. Front Yard Building Setback Line (facing Cherry Street) shall be Twenty (20) feet.
 - 4. Front Yard Building Landscaping Setback Line (facing Cherry Street) shall be Ten (10) feet.

D. Lot 4 of the Preliminary Development Plan

1. Front Yard Building Setback Line (facing West Drive) shall be Twenty (20) feet along the southern property line only.
2. Front Yard Building Landscaping Setback Line (facing West Drive) shall be Ten (10) feet along the southern property line only.
3. Side Yard Building Setback Line shall be Ten (10) feet for the portion of West Drive along S.R. 37.
4. Side Yard Building Landscaping Setback Line shall be Ten (10) feet for the portion of West Drive along S.R. 37.

E. Lot 5 of the Preliminary Development Plan

1. Front Yard Building Setback Line (facing Presley Drive) shall be Forty (40) feet.
2. Front Yard Building Landscaping Setback Line (facing Presley Drive) shall be Fifteen (15) feet.
3. Front Yard Building Setback Line (facing West Drive) shall be Twenty (20) feet.
4. Front Yard Building Landscaping Setback Line (facing West Drive) shall be Ten (10) feet.
5. Side Yard Building Setback Line shall be Ten (10) feet.
6. Side Yard Building Landscaping Setback Line shall be Ten (10) feet.

F. Lot 6 of the Preliminary Development Plan

1. Front Yard Building Setback Line (facing Presley Drive) shall be Forty (40) feet.
2. Front Yard Building Landscaping Setback Line (facing Presley Drive) shall be Fifteen (15) feet.
3. Side Yard Building Setback Line shall be Ten (10) feet.
4. Side Yard Building Landscaping Setback Line shall be Ten (10) feet.

G. Lot 7 of the Preliminary Development Plan

1. Front Yard Building Setback Line (facing Presley Drive) shall be Forty (40) feet.
2. Front Yard Building Landscaping Setback Line (facing Presley Drive) shall be Fifteen (15) feet.
3. Side Yard Building Setback Line (facing proposed Midland Trail) shall be Twenty (20) feet.
4. Side Yard Building Landscaping Setback Line (facing proposed Midland Trail) shall be Ten (10) feet.
5. Rear Yard Building Setback Line shall be Twenty (20) feet.
6. Rear Yard Building Landscaping Setback Line shall be Ten (10) feet.
7. Side Yard Building Setback Line shall be Ten (10) feet.
8. Side Yard Building Landscaping Setback Line shall be Ten (10) feet.

H. Lot 8 of the Preliminary Development Plan

1. Front Yard Building Setback Line (facing Presley Drive) shall be Forty (40) feet.
2. Front Yard Building Landscaping Setback Line (facing Presley Drive) shall be Fifteen (15) feet.
3. Rear Yard Building Setback Line shall be Twenty (20) feet.
4. Rear Yard Building Landscaping Setback Line shall be Ten (10) feet.
5. Side Yard Building Setback Line shall be Ten (10) feet.
6. Side Yard Building Landscaping Setback Line shall be Ten (10) feet.

Exhibit D

Landscaping Development Standards

Application.

Unless otherwise specified, the Landscaping Development Standards contained in this Exhibit D shall apply to the landscaping in the Real Estate. A landscaping plan has been prepared and submitted as part of the Detailed Development Plan for Lot 1 of the Preliminary Development Plan ("Dealership Lot"). A copy of the landscaping plan is included in this Exhibit D.

D.1 General Landscape Standards

All trees, shrubs, and ground covers shall be planted according to American Standard for Nursery Stock and following the standards set forth in this Exhibit D. Landscaping materials shall be appropriate for local growing and climatic conditions.

Areas to receive landscaping shall include the following:

- Buffers
- Building Base
- Parking Interior
- Parking Perimeter
- Utility and Detention Areas
- Street Trees

Minimum plant sizes shall be as follows at the time of planting:

- Canopy Trees: 2.5" caliper inches
- Ornamental Trees: 1.5 caliper inches/6 feet in height for clump forms
- Evergreen Trees: 6 feet in height
- Shrubs: 18 inches in height or 18" in spread for low growing shrubs
- Ornamental Grasses: 24"

Additional criteria for defining plant material characteristics and sizes shall be governed by Section 4 of Article 12: Landscaping and Screening of the UDO. Existing trees may be used to achieve project landscape requirements in accordance with Section 12 of Article 12: Landscaping and Screening of the UDO. If the City of Noblesville in the future adopts a Low Impact Development ("LID") Ordinance, the City's LID Ordinance provisions may be applied to

achieve project landscaping requirements; provided however, that any stricter developments standards under the future LID Ordinance shall not apply to the Landscaping Development Standards enacted as part of the Terry Lee Crossing PD Ordinance.

All landscape material required under the Terry Lee Crossing PD Ordinance shall be installed prior to the issuance of the Certificate of Occupancy. In the event that weather conditions prohibit the ability to install required landscape material, the property owner shall request a temporary certificate of occupancy, which shall be conditioned upon a determined time frame to complete the installation of all required plant materials. It is not the intent of these Landscaping Development Standards to duplicate plantings in the same area to meet different requirements. When planting zones overlap, the most stringent requirements shall apply.

Landscaping for buffers shall be governed by Section 7 of Article 12: Landscaping and Screening of the UDO.

D.2 Landscaping for the Building Base shall be as follows:

1. Plantings shall be incorporated at the building base of all buildings constructed on the Real Estate to accomplish the following:
 - a. Highlight main entrances; and
 - b. Tie the architecture to the site.
2. Building base landscape width shall be a minimum of 5' along the front and side of the buildings.
3. Service drives and access points shall not be counted in the overall building base calculation.
4. Provide 1 ornamental tree and 20 deciduous shrubs, evergreen shrubs, or ornamental grasses per 100 linear feet of building base length.
5. Refer to Section 6 of Article 12: Landscaping and Screening of the UDO for limitations on pedestrian walk locations and plant placement.

D.3 Parking Interior

When the nature of the business is to display, sell, purchase, or rent vehicles, the percentage of required landscaping area shall be reduced by 50%. This reduction shall not allow for islands to be less than 180 square foot in size. Reductions shall

take place where merchandise is located and not in areas designated as parking for personal vehicles.

Parking interior plantings shall be protected using a 6 inch high curb or wheel stops.

The minimum landscape area at the end of each row of customer and employee parking shall be 180 square feet. One (1) Canopy tree and five (5) deciduous shrubs, evergreen shrubs, or ornamental grasses shall be provided for each island.

Where rows of customer and employee parking create a double row, the size and planting requirements shall be doubled.

Additional interior parking requirements shall be governed by Section 5, Part C.1.d-f of Article 12: Landscaping and Screening of the UDO.

D.3 Parking Perimeter

For all parking lot edges that face a Public Right of Way or residential use, provide the following:

1. A ten (10) foot landscape space;
2. One (1) canopy tree per 40 linear feet for purposes of determining number of trees and not placement of the trees on the Real Estate and trees may be placed in any manner to achieve project landscaping requirements;
3. 33 deciduous shrubs, evergreen shrubs, or ornamental grasses per 100 linear feet with a mature height of 3 feet;
4. When the nature of the business is to display, sell, purchase, or rent vehicles, the percentage of required shrubs shall be reduced by 50%; and

When the nature of the business is to display, sell, purchase, or rent vehicles, the mature height of required shrubs shall be reduced by 24 inches.

For parking lot edges that face a similar use, provide the following:

1. A five (5) foot landscape space;
2. One (1) canopy tree per 50 linear feet for purposes of determining number of trees and not placement of the trees on the Real Estate and trees may be placed in any manner to achieve project landscaping requirements;

3. 17 deciduous shrubs, evergreen shrubs, or ornamental grasses per 100 linear feet with a mature height of 3 feet;
4. When the nature of the business is to display, sell, purchase, or rent vehicles, the percentage of required shrubs shall be reduced by 24 inches;
5. When the nature of the business is to display, sell, purchase, or rent vehicles, the mature height of required shrubs shall be reduced by 50%;
and
6. Trees can be grouped when adequate room is available. There shall be no greater than 80 linear feet between trees.

D.4 Utilities and Detention Areas

All utility areas, including loading docks and ground mounted units, shall be screened to minimize direct views from the public right of way. Screening of these elements can be accomplished using a combination of evergreen landscape materials, screen walls, opaque fencing, or recesses in the building. When a screen wall is used, landscape material shall be provided.

Detention Ponds shall be landscaped with natural stands of canopy trees, ornamental trees, evergreen trees, and shrubs. Plantings shall be arranged in groups and shrubs shall be allowed to mass together.

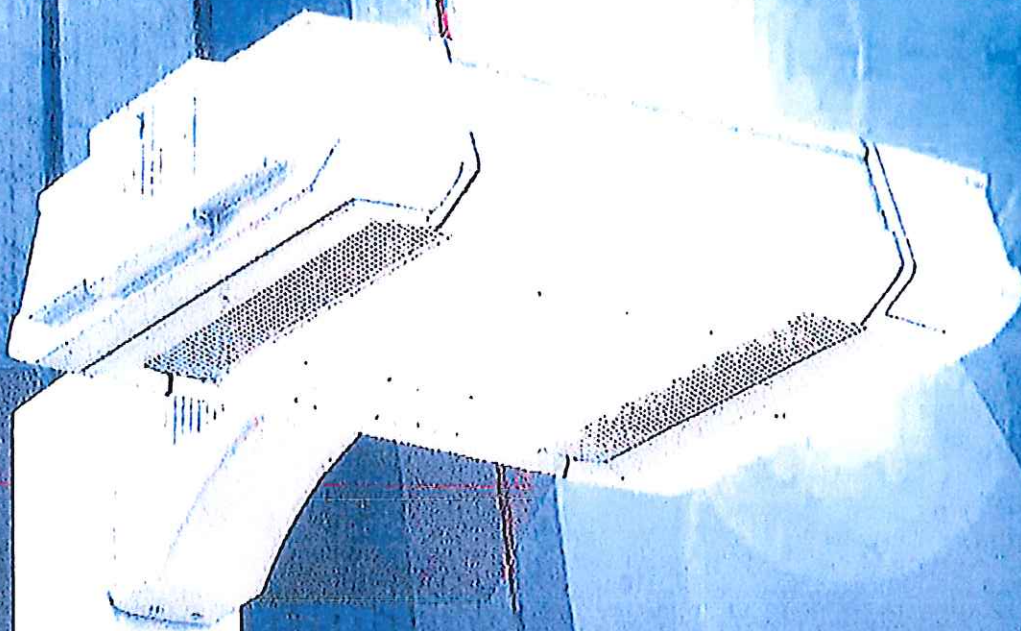
Street Trees shall be subject to the applicable sections of Article 6, Part M of the UDO.

Exhibit E

Lighting Pole and Fixture Design

Application.

The Lighting Pole and Fixture Design contained in this Exhibit E shall apply to all lighting poles and fixtures designs constructed on the Real Estate.



ElementTM II

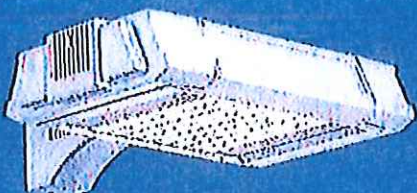
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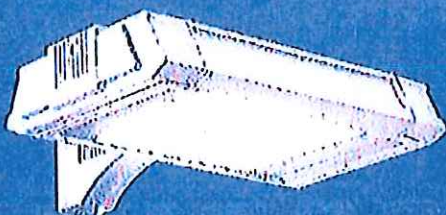
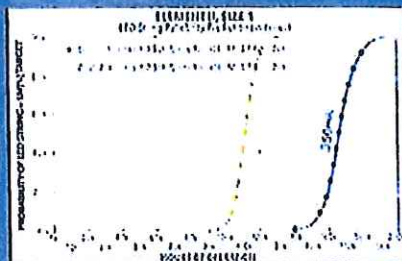
VISIONAIRE LIGHTING

Performance In A Whole New Light

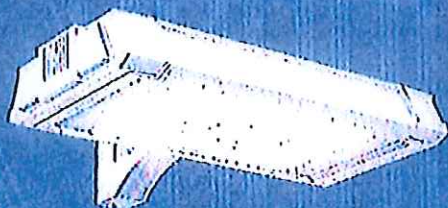
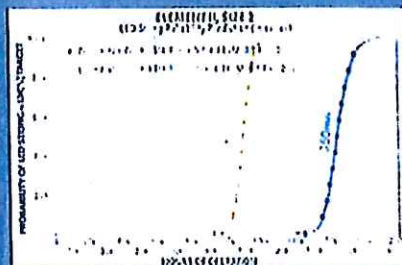
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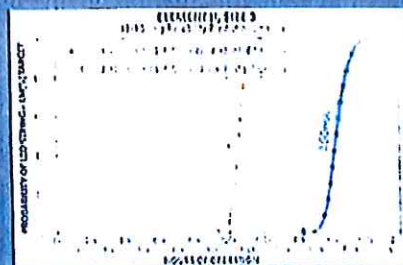
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Drive current of 530mA yields an L₇₀ of 100,000 hours.



Drive current of 350mA yields an l₇₀ of 150,000 hours.
Drive current of 530mA yields an l₇₀ of 100,000 hours.

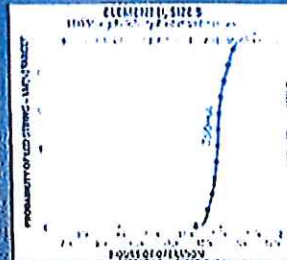
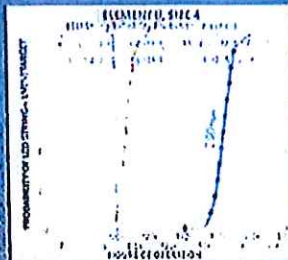


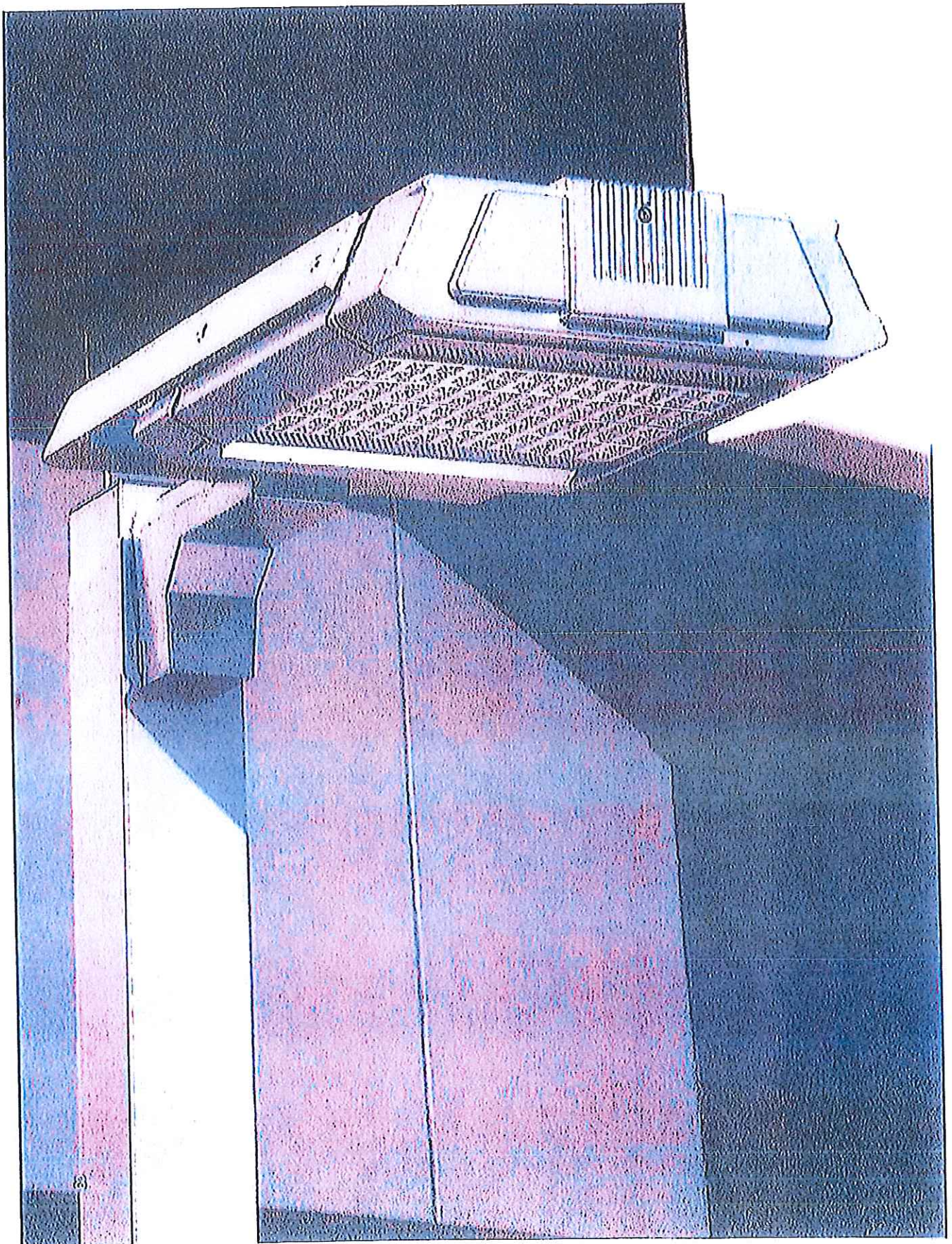
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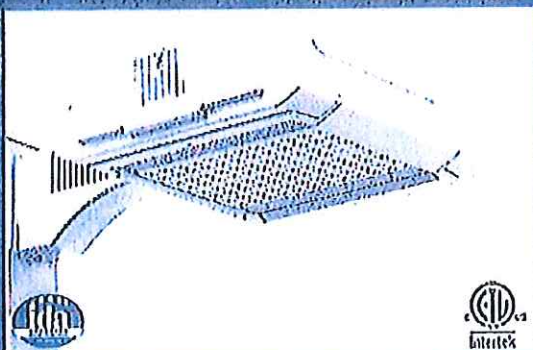
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Drive current of 350mA yields an L70 of 160,000 hours.



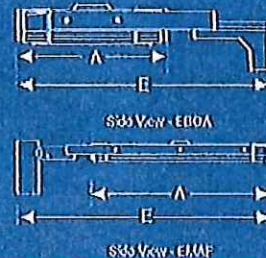
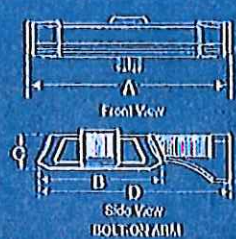


5 Loaded With Specs

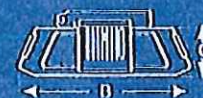
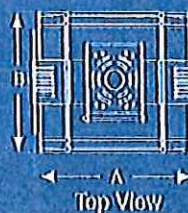


Fixture	A	B	C	D	E	Max LEDs	U/s
EL2-S	14"	14 1/2"	4"	21 1/2"	n/a	72	30
EL2-1	18"	14 1/2"	4"	21 1/2"	38"	96	34
EL2-2	24"	14 1/2"	4"	21 1/2"	42"	144	38
EL2-3	28"	14 1/2"	4"	21 1/2"	28 1/2"	144	41
EL2-4	32"	14 1/2"	4"	21 1/2"	32 1/2"	192	62
EL2-5	38"	14 1/2"	4"	21 1/2"	48 1/2"	288	69

Area

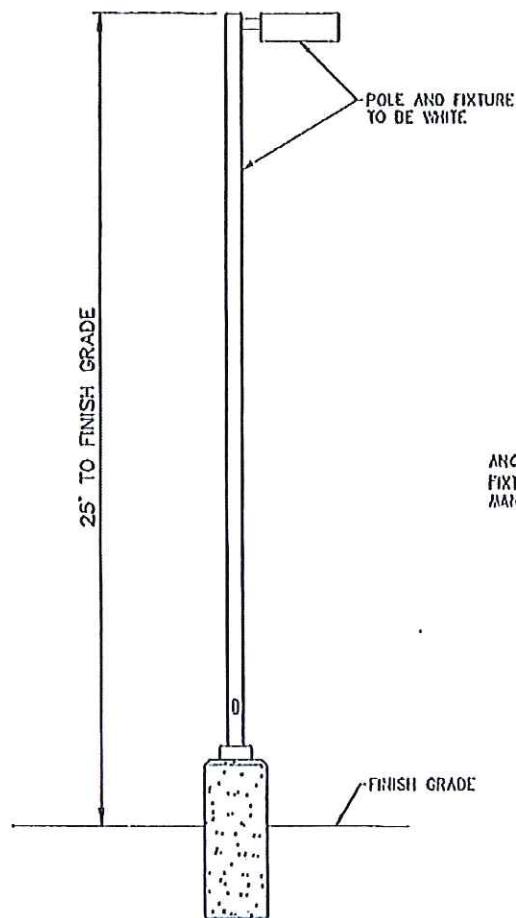


Garage/Canopy

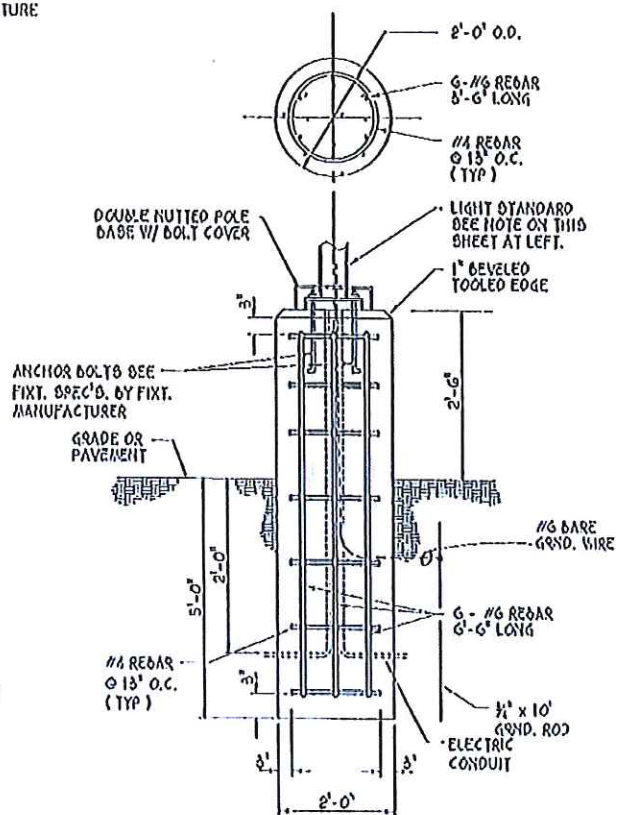


Side View/End Cap

Model	Optics	Source	Millamps	Kelvin	Voltage	Mounting	Finish	Options
EL2-S	Type I (1)	# of LEDs 24 (24LC) 48 (48LC) 72 (72LC)	350 530 350 530 350 530	4000K 5000K 5500K	120-277 480 347	Bolt-On Arm (BOA) Wall Mount (WM) Knuckle Mount (KM) Mast Arm Fitter (MAF) Ceiling Mount (CM) Pendant Mount (PM) End Mount (EM) Bolt-On (BOA) End Mount (EM) Bolt-On (BOA) End Mount (EM)	White (WH) Bronze (BZ) Black (BK) Grey (GY) Silver Metallic (SL) Custom Color (CC)	0-10v Dimming Driver (DM) Photocell & Receptacle (PC120) (PC203) (PC240) (PC277) Photo Receptacle (PRH) Button Type Photocell (BT120) (BT203) (BT240) (BT277) Round Pole Plate Adaptor (RPP4) (RPP5) Element Conduit Box (ECB) Cutoff Louver System (CLS) Vandal Resistant Shield (VRS) Dual Circuit (DC) Motion Sensor (MS)
EL2-1	Type I-R (12)	24 (24LC) 48 (48LC) 72 (72LC) 96 (96LC)	350 530 350 530 350 530 350 530	4000K 5000K 5500K	120-277 480 347			
EL2-2	Type II (3)	120 (120LC) 144 (144LC)	350 350	530				
EL2-3	Type III-A (14)	120 (120LC) 144 (144LC)	530 530					
EL2-4 *End mount only	Type V (16)	163 (163LC) 192 (192LC)	350 530 350 530					
EL2-5 *End mount only	Type VAV (18)	216 (216LC) 240 (240LC) 264 (264LC) 288 (288LC)	350 350 350 350					



LIGHT POLE DETAIL
NOT TO SCALE



**LIGHT STANDARD
FOOTING DETAIL**
NOT TO SCALE

NOTE: REMOVE FORMS AND TROWEL FINISH
POLE BASE WITHIN 24 HOURS OF POUR

LIGHT POLE AND BASE DETAIL

AMERICAN
STRUCTUREPOINT
INC.

7260 SHADELAND STATION
INDIANAPOLIS, IN 46250-3957
TEL 317.547.6500 FAX 317.543.0270
www.structurepoint.com

SCALE: ITS
DATE: 05/24/2013
DRAWN BY:
CHECK BY:
JOB NO. 2012.00089

SHEET NO.

E

CF

Exhibit F

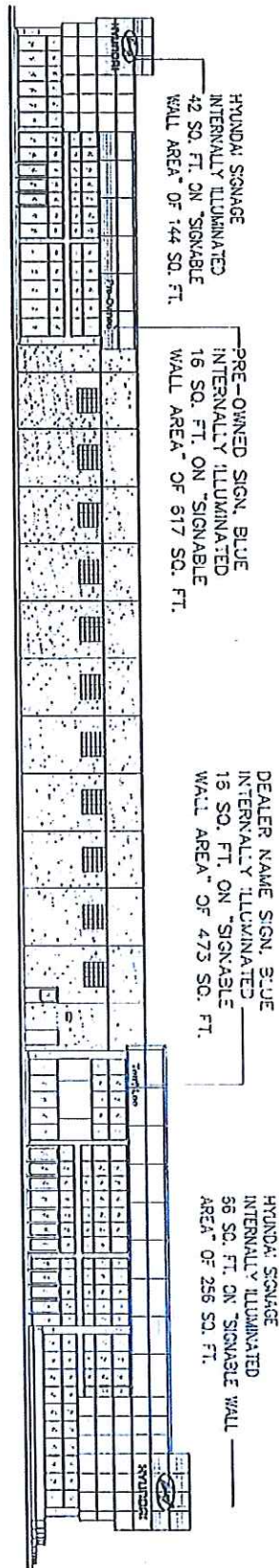
Sign Development Guidelines

F.1 Dealership Lot

- A. Lot 1 of the preliminary development plan ("Dealership Lot") will be developed as the Terry Lee Hyundai Car Dealership. The Dealership Lot will be allowed the size, design and amount of signage as shown the designs attached as Exhibit F.1 and on the architectural elevations attached as Exhibit G.
- B. The illumination of the signs will be Halo-Lit which is defined as individually mounted opaque, internally backlit letters that illuminate the wall or surface to which they are attached.
- C. The size and design of the directional and pylons signs in the Development Lot shall be consistent with the signs attached hereto as Exhibit F.2. Lot 1 shall have a maximum of seven (7) directional signs and the location of the directional signs shall be determined upon the approval of the Lot 1's detailed development plan. Lot 1 shall also have one (1) pylon sign which will be located as indicated attached Preliminary Development Plan as Exhibit F.4.

F.2 Designation Sign for Real Estate

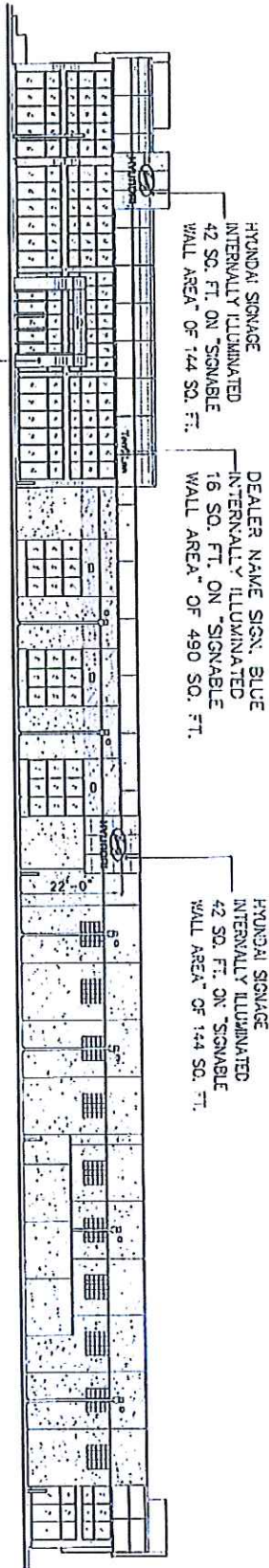
- A. The Designation Sign shall comply with the applicable signing requirements of Article 11: Signs of the UDO except as modified by the concept plan attached hereto as Exhibit F.3. The supports and frames shall be painted to look like stainless steel.
- B. Any number of materials may be used for the design of the Designation Sign for Real Estate. The following is a list of acceptable materials:
 - 1. Face Brick;
 - 2. Aluminum Composite Materials;
 - 3. Precast Concrete;
 - 4. Splitface or textured masonry units;
 - 5. Ceramic or glazed tile.
- C. The Designation Sign shall be located as indicated on the attached Preliminary Development Plan as Exhibit F.4.



0 4' 8' 16' 32' 50'

GRAPHIC SCALE

PROPOSED WEST ELEVATION - VIEW FROM HIGHWAY 37



0 4' 8' 16' 32' 50'

GRAPHIC SCALE

0 4' 8' 16' 32' 50'

GRAPHIC SCALE

PROPOSED EAST ELEVATION - VIEW FROM INTERNAL DEVELOPMENT ROAD

EXHIBIT

12

A NEW AUTO DEALERSHIP FACILITY FOR:

TERRY LEE HYUNDAI

PO BOX 1116

HYUNDAI

PA202

PROPOSED SIGN & WALL DECORATIONS

PA202

HYUNDAI SIGNAGE
INTERNALLY ILLUMINATED
56 SQ. FT. ON "SIGNABLE"
WALL AREA OF 256 SQ. FT.

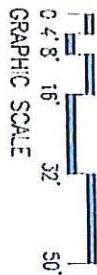
DEALER NAME SIGN, BLUE
INTERNALLY ILLUMINATED
15 SQ. FT. ON "SIGNABLE"
WALL AREA OF 475 SQ. FT.

HYUNDAI SIGNAGE
INTERNALLY ILLUMINATED
42 SQ. FT. ON "SIGNABLE"
WALL AREA OF 144 SQ. FT.

HYUNDAI "ENTRANCE GATE" - HEG-12
3 SQ. FT. SIGN ON "SIGNABLE" WALL
AREA OF 117.5 SQ. FT.

SERVICE SIGNAGE
INTERNALLY ILLUMINATED
22 SQ. FT. ON "SIGNABLE" WALL
AREA OF 35. SQ. FT.

PROPOSED SOUTH ELEVATION - VIEW FROM CHERRY STREET



HYUNDAI SIGNAGE
INTERNALLY ILLUMINATED
42 SQ. FT. ON "SIGNABLE"
WALL AREA OF 144 SQ. FT.

PRE-OWNED SIGN, BLUE
INTERNALLY ILLUMINATED
16 SQ. FT. ON "SIGNABLE"
WALL AREA OF 464 SQ. FT.

HYUNDAI SIGNAGE
INTERNALLY ILLUMINATED
42 SQ. FT. ON "SIGNABLE"
WALL AREA OF 144 SQ. FT.

PROPOSED NORTH ELEVATION - VIEW FROM HIGHWAY 32/38



EXHIBIT

A NEW AUTO DEALERSHIP FACILITY FOR:

TERRY LEE HYUNDAI

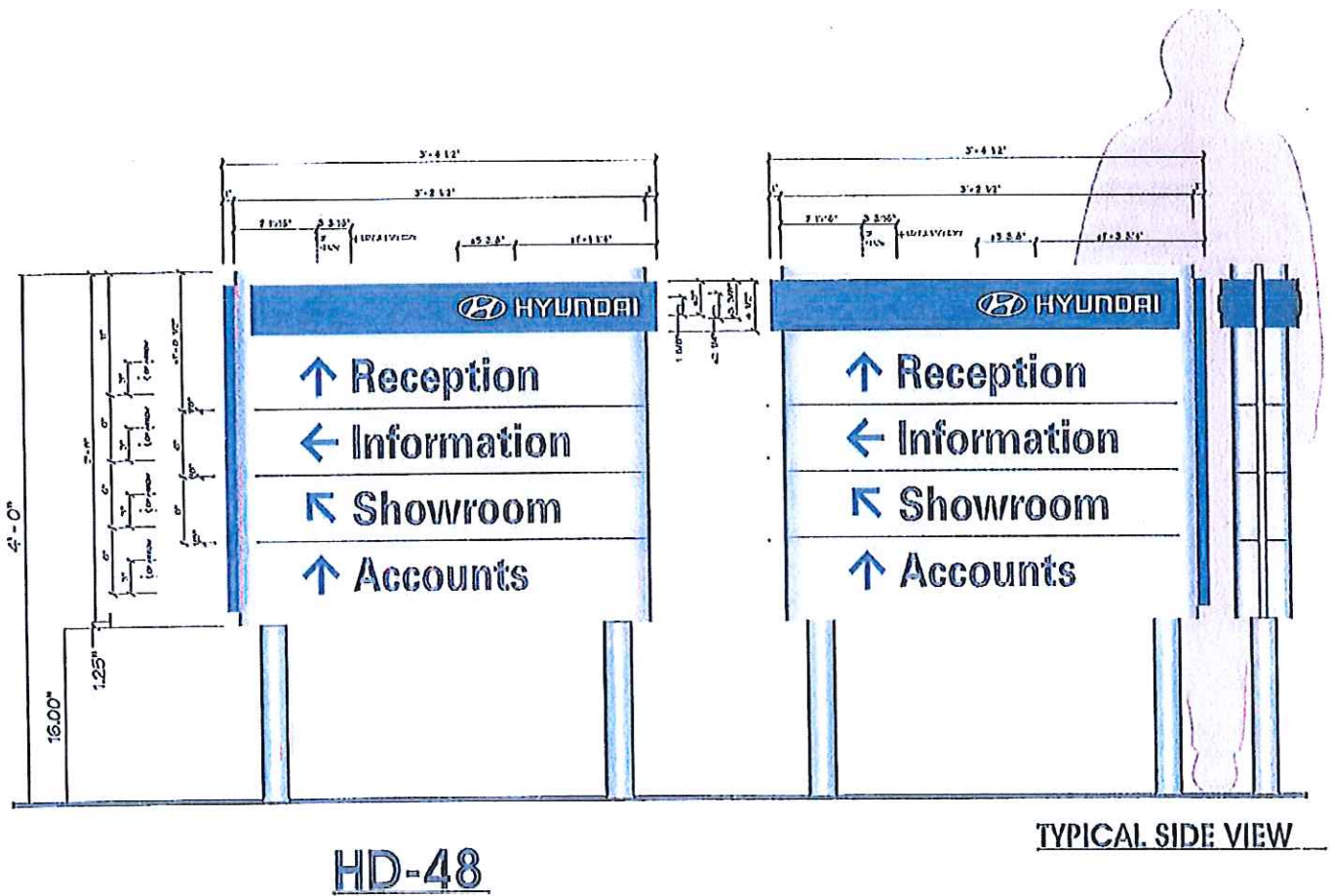
REVISIONS		DATE		BY		CHECKED		APPROVED	
1	ISSUED FOR PERMITTING	10/1/00	PAZOS						
2	ISSUED FOR CONSTRUCTION	10/1/00	PAZOS						

PAZOS

10/1/00

DIRECTIONALS

Text and arrows will vary.



Site ID: Hyundai

Drawn by: MAR



AGI Rep: JWB

Scale: 3/4" = 1' - 0"

Date: 11/29/11

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Architectural Graphics, Inc.

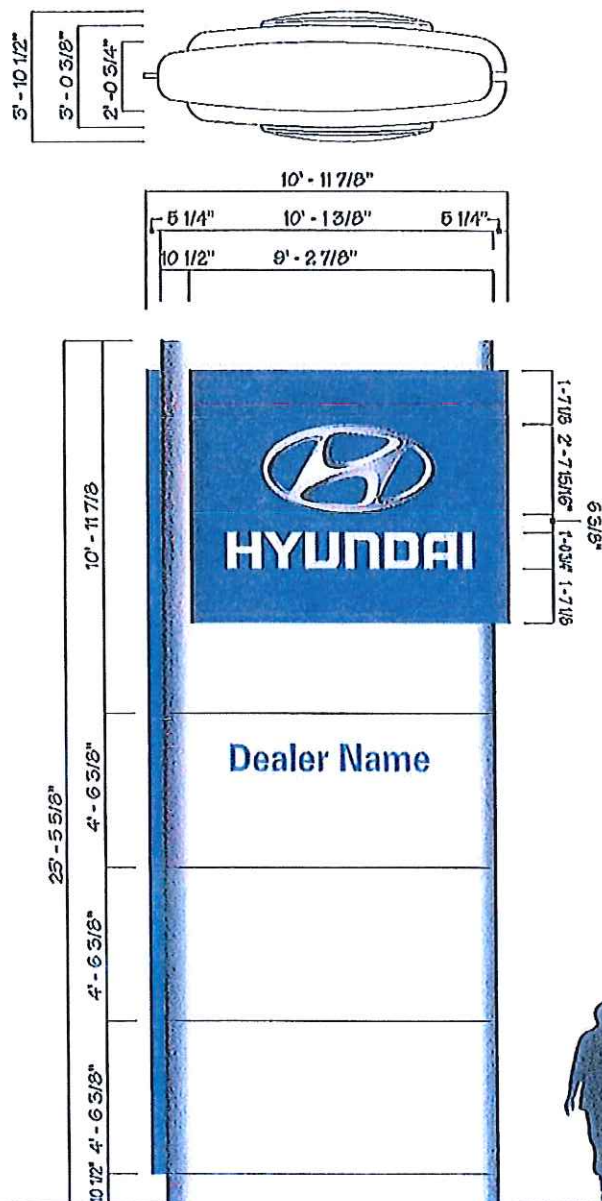
2655 International Blvd., Virginia Beach, VA 23452
PHONE: (757) 427-1900 • Fax: (757) 430-1297
www.AGI-sign.com

PYLONS

Dealer Name Text will vary.

HP-72-25

72.04 sq ft



The final sign location is to be determined by the authority having jurisdiction. The approved location may vary from what is depicted in the rendering.

STREET SIDE →



Site ID: Hyundai



AGI Rep: JWB

Scale: 3/16"=1'

Date: 6/28/11

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PHONE: (757) 427-1900 • Fax (757) 430-1797
www.AGSign.com

Terry Lee Crossing
 (15'W X 28'T X 1' D) Site Sign
 Scale: .25" = 1'

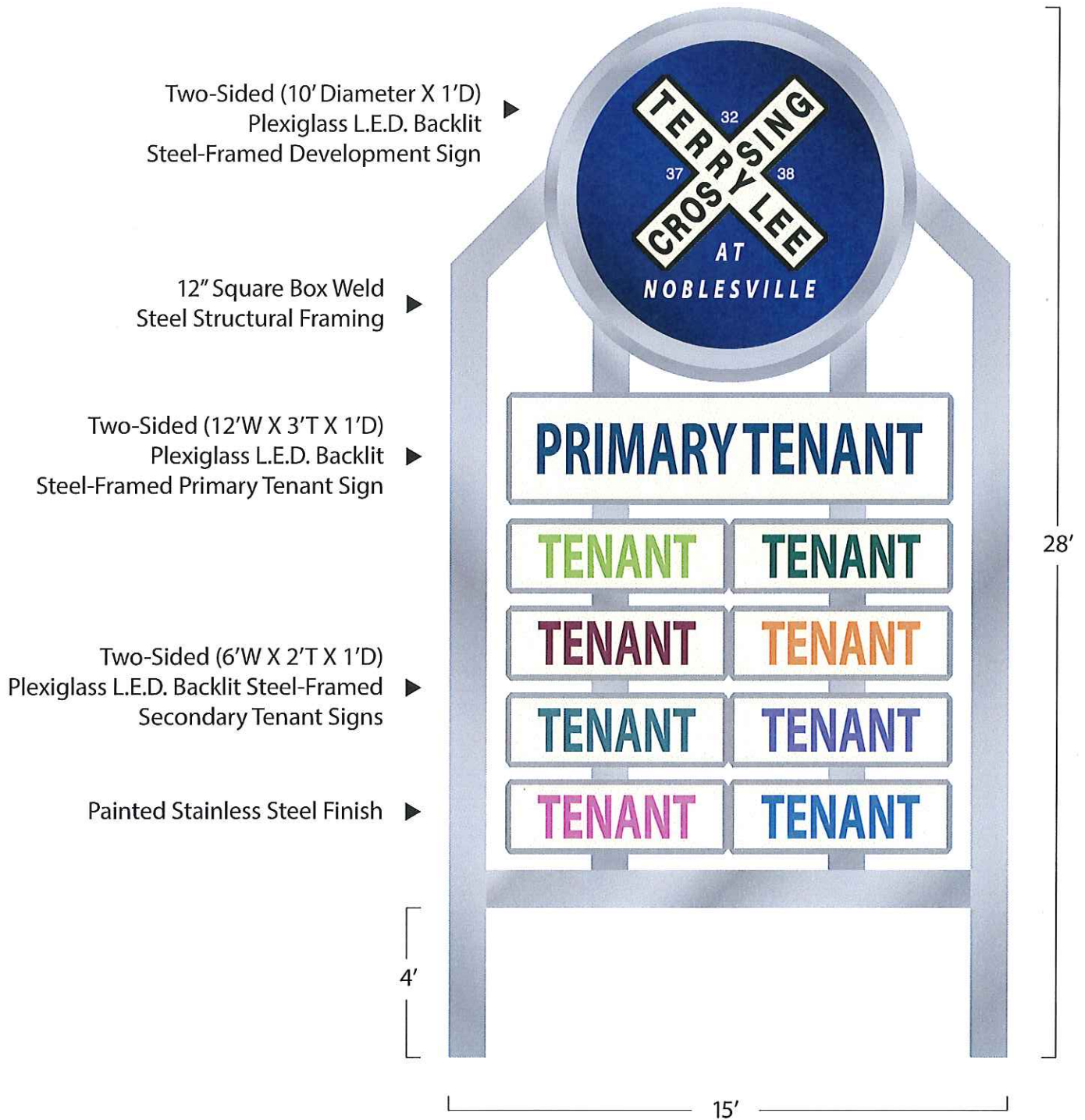
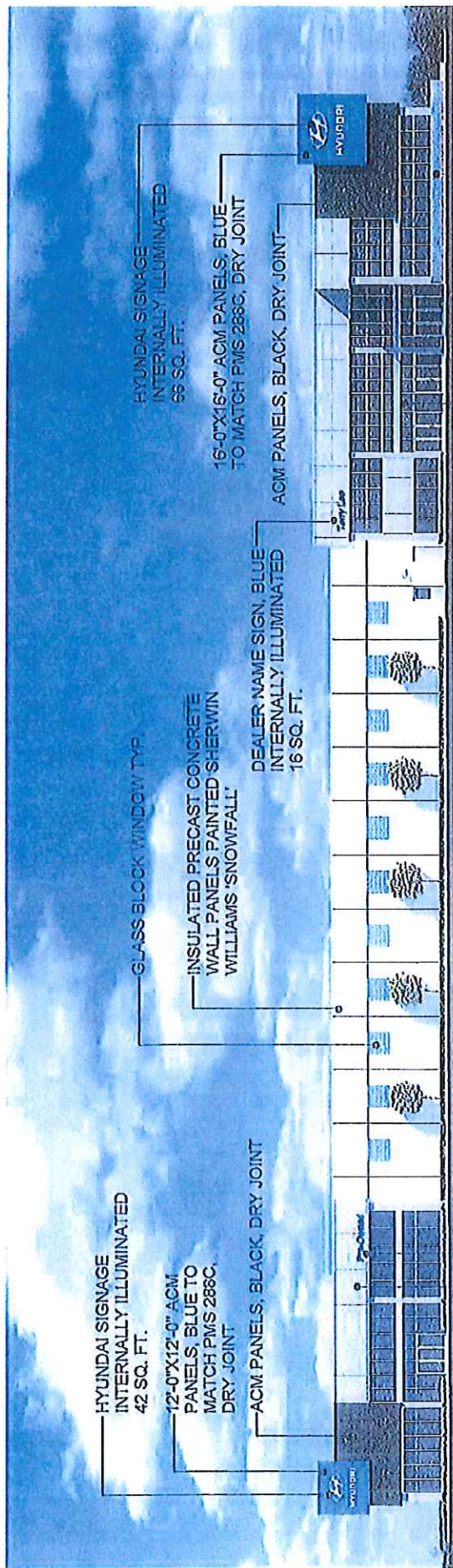


Exhibit G
Architectural Elevations



MP-1 ACM PANELS, SILVER
TO MATCH PMS 877C,
DRY JOINT

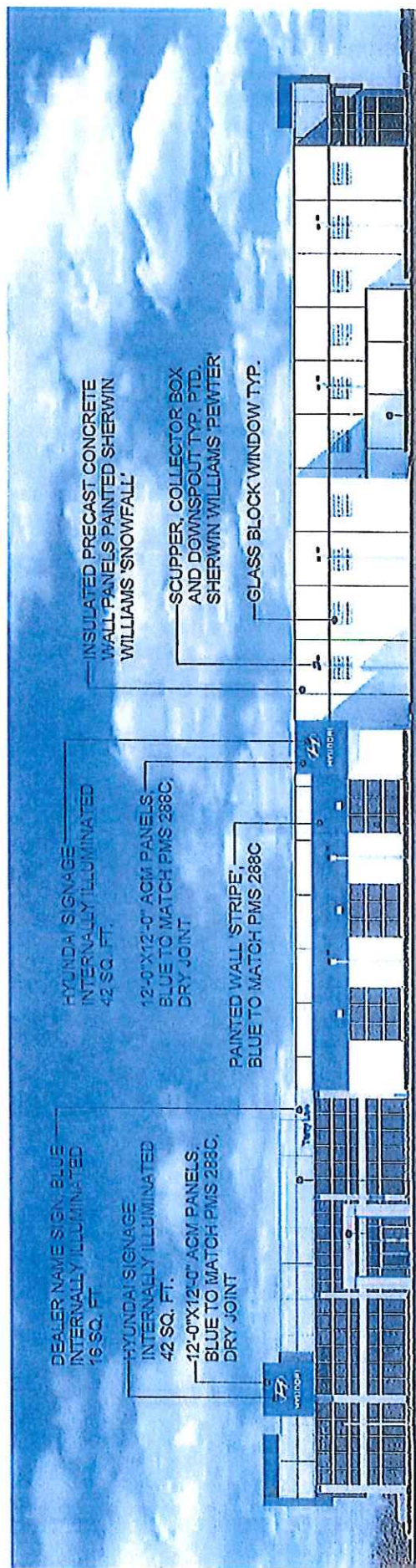
PRE-OWNED SIGN, BLUE
INTERNALLY ILLUMINATED
16 SQ. FT.

ALUMINUM STOREFRONT
SYSTEM TYPICAL

INFINITY POOL
WATER FEATURE

PROPOSED WEST ELEVATION - VIEW FROM HIGHWAY 37

NOT TO SCALE



HYUNDAI ENTRANCE
GATE - HEG-12

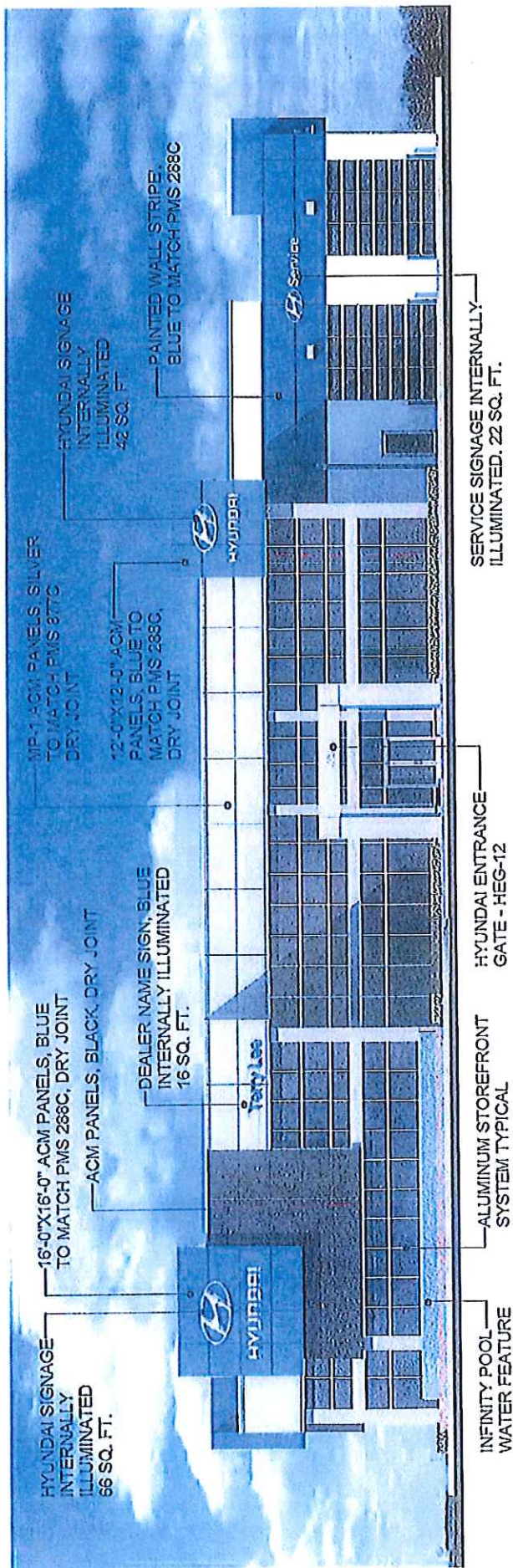
MP-1 ACM PANELS, SILVER
TO MATCH PMS 877C,
DRY JOINT

ALUMINUM STOREFRONT
SYSTEM TYPICAL

10'-0" HIGH PRECAST CONCRETE
PANELS AT TRASH ENCLOSURE
PAINTED SHERWIN WILLIAMS 'SNOWFALL'

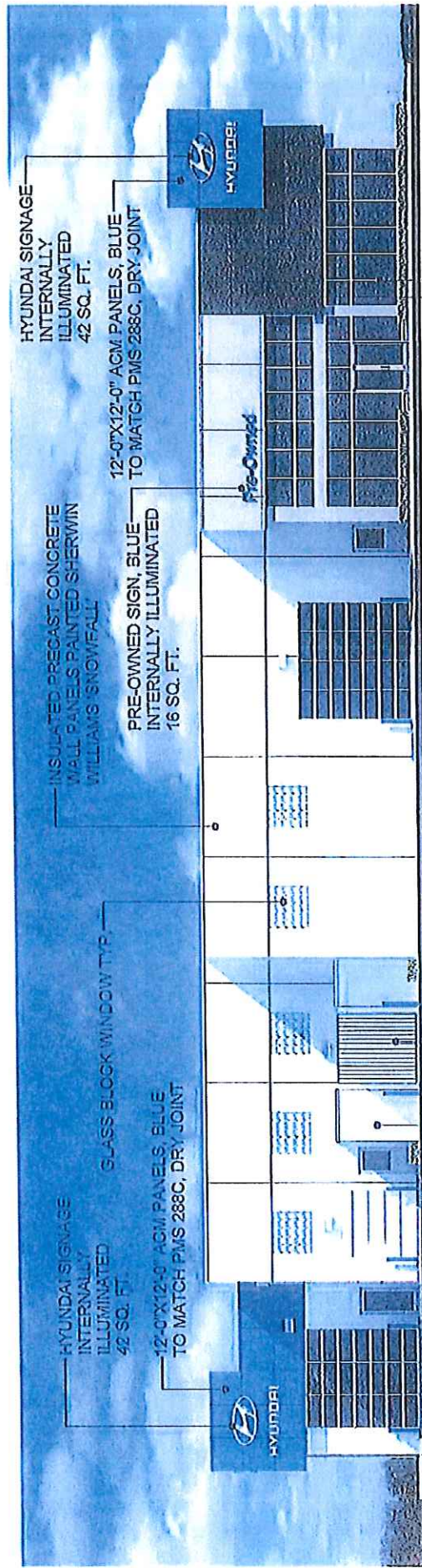
PROPOSED EAST ELEVATION - VIEW FROM INTERNAL DEVELOPMENT ROAD

NOT TO SCALE



PROPOSED SOUTH ELEVATION - VIEW FROM CHERRY STREET

NOT TO SCALE



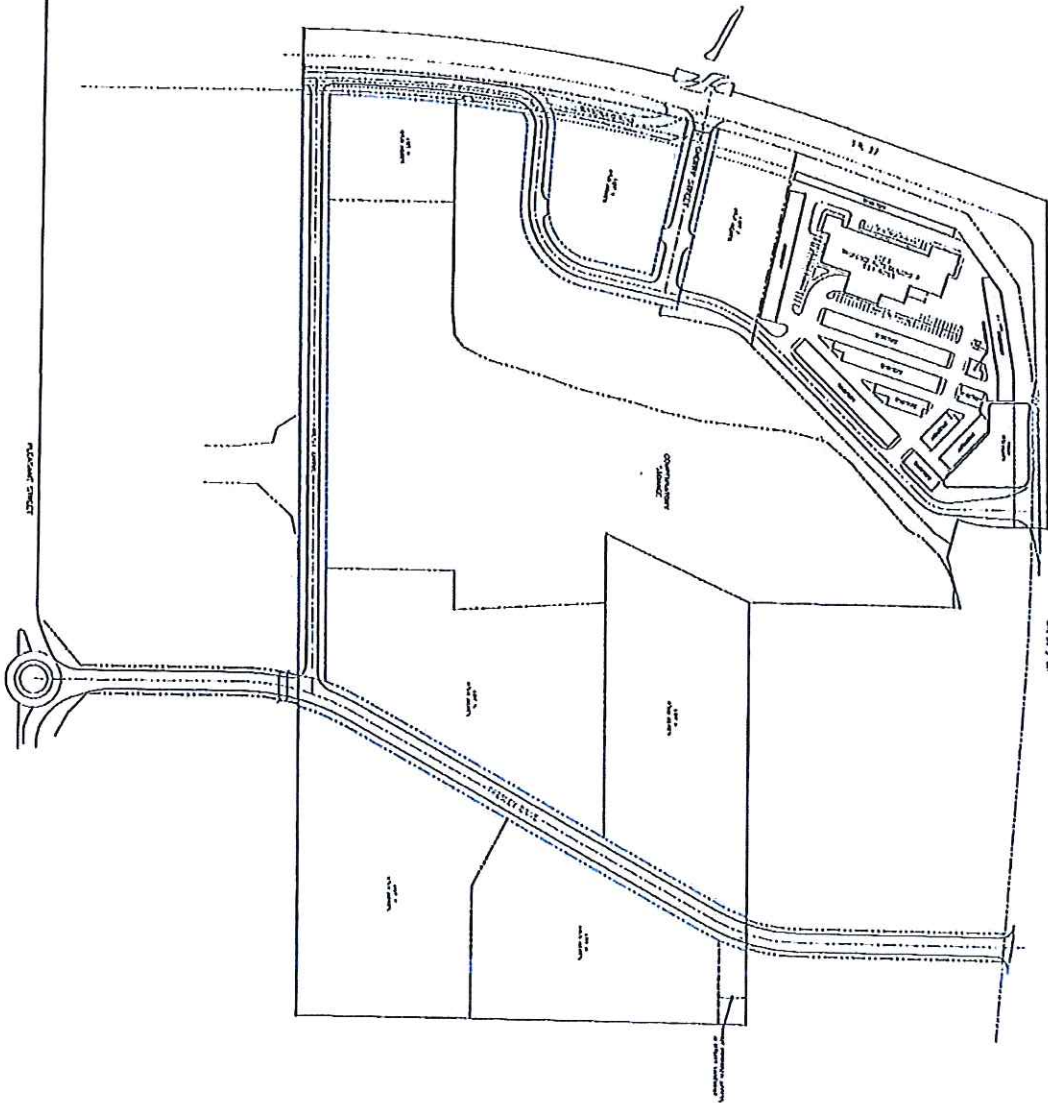
PROPOSED NORTH ELEVATION - VIEW FROM HIGHWAY 32/38

NOT TO SCALE

Exhibit H

Vacation of a Portion of Cumberland Road

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EXHIBIT C - R/W VACATION - CUMBERLAND ROAD		MISSOURI DEPARTMENT OF TRANSPORTATION	
PROJECT TERRY LEE CROSSING SA 12 1 SA 12 MOBILE AREA	DESIGNER TERRY LEE CROSSING 12121 SHERWOOD MOBILE	DATE 12/1/2011	